

# GARAGES

**Private Garage:** An accessory building or accessory portion of the principle building which is used to store automotive vehicles or major recreational equipment by a user of the property.

## SETBACKS

### STRUCTURE:

- ◆ Must **not** be closer to the street than the principle structure.
- ◆ 30 ft from front property line
- ◆ 8 ft from rear property line
- ◆ 5 ft from side yard property line\*
- ◆ 15 ft or more between this structure and the neighboring structures\*

\*NOTE: Interior side yard setback requirement may be reduced to a minimum 2 ft for a single-stall addition. (see City Code 10-7-4) Contact the Planning Department for additional information.

- ◆ 20 ft from side yard property line if on a corner lot
- ◆ No structures are allowed within the Drainage and Utility Easements.

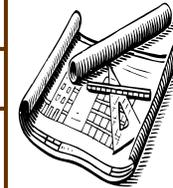
### DRIVEWAY:

- ▶ 5 ft from side yard property line
- ▶ 8 ft from rear property line

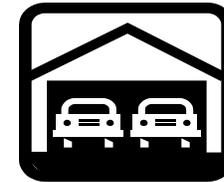
## HEIGHT AND SIZE REQUIREMENTS

- ▶ Not to exceed the height of the principle structure
- ▶ No greater than 15 ft in height with 10 ft sidewalls in the R-1 District, 20 ft in R-1A District
- ▶ Not to exceed 500 sq. ft of floor area, not to be greater than the foot print of the house foundation
- ▶ If the lot has an existing garage and a swimming pool or sport court the size may not exceed 225 sq. ft of floor area
- ▶ Maximum impervious surface coverage of ALL buildings, decks, driveways, walks, patios, etc. may not exceed 25% of the lot area if within 1000 ft of a lake.
- ▶ No more than 2 accessory buildings/garages may be on any lot

## CERTIFICATE OF SURVEY



**A NEW Registered Land Survey** will be required on all new additions (*if the home was built prior to January 1995*) and **must** include the exact distance to all property lines and utility easements.



## GARAGES



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## FRAMING REQUIREMENTS

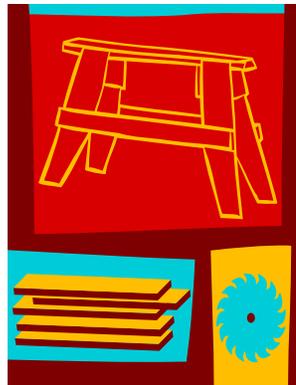
- ▶ Base plates on concrete shall be of approved treated wood
- ▶ Studs: 2 x 4 inch studs not more than 10 ft in length, supporting ceiling and roof only, may be spaced 24" on center with framing above centered over studs
- ▶ Rafters and roof sheathing for attached garages shall be designed for a 35 pounds per square foot live load. The trusses may be of engineered design by an approved manufacturer or may be site-built of a design approved by the building official. Rafters shall be nailed to adjacent ceiling joists to form a continuous tie between exterior wall when such joists are parallel to the rafters. When not parallel, rafters shall be tied to 2 x 4 " minimum cross ties. Rafter ties shall not be spaced more than 4 ft on center.
- ▶ Garage door headers for use when garage door opening is 16 ft (full roof load chart assumes 24 ft engineered trusses with 2 ft soffit overhand).

No roof load	2—2" x 12" S-P-F or equivalent
Hip roof	2—2" x 14" S-P-F or equivalent OR 2-1 3/4" x 11 7/8" Laminated veneer lumber (LVL) beams
Full roof load	2—1 3/4" x 14" (LVL) beams
Special design required for 18 ft garage door openings and/or garages deeper than 24 ft	

- ▶ Allowable rafter spans for roofs with pitch of 3-12 or greater; assumes a "dead load" of 7 pounds per square foot (PSF) and a deflection limit of 1/180 (span in inches divided by 180).

1. Spruce-Pine-Fir #2 or better

Rafter	35 PSF live load		
	12" On Center	16" On Center	24" On Center
2 x 6	12'-8"	11'-0"	9'-0"
2 x 8	16'-1"	13'-11"	11'-5"
2 x 10	19'-8"	17'-0"	13'-11"
2 x 12	22'-9"	19'-9"	16'-1"



2. Hem-Fir #2 or better

Rafter Size	35 PSF live load		
	12" On Center	16" On Center	24" On Center
2 x 6	12'-6"	10'-10"	8'-10"
2 x 8	15'-10"	13'-9"	11'-3"
2 x 10	19'-4"	16'-9"	13'-8"
2 x 12	22'-6"	19'-5"	15'-11"

- ▶ Allowable ceiling joist spans:  
Assumes limited attic storage (20PSF)/drywall ceilings

Joist Size	Spruce-Pine-Fir #2		Hem-Fir #2	
	16" On Ctr	24" On Ctr	16" On Ctr	24" On Ctr
2 x 4	8'-7"	7'-2"	8'-4"	7'-1"
2 x 6	12'-10"	10'-6"	12'-08"	10'-4"
2 x 8	16'-3"	13'-3"	16'-0"	13'-1"
2 x 10	19'-10"	16'-3"	19'-7"	16'-0"

### SHEATHING

**Roof sheathing** may be of approved wood structural panels (plywood, oriented strand board). The most common grades and thicknesses of sheathing that are appropriate for attached or detached garages with rafters/trusses spaced not more than 24" on center are:

- 24/16—7/16" and 1/2"
- 32/16—15/32", 1/2", 5/8"

Panels must be installed continuous over 3 or more rafters/trusses with face grain perpendicular to supports.

**Wall sheathing** may be of approved plywood, fiber board, exterior gypsum sheathing, hardboard panels or 1" foam boards which would require diagonal bracing at corners and at 25 ft intervals. Fiberboard may not be used where studs are 24" on center.

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## ADDITIONAL REQUIREMENTS

**ATTIC VENTILATION**- For buildings with finished ceilings, attic ventilation must be supplied. When evenly distributed between the soffit vents and roof vents the total opening area may be 1/300th of the attic area.

**FLASHING**—Required over all exterior exposed openings.

**VALLEY FLASHING**—Minimum 26 gauge galvanized extending at least 8” from center line each way. Provide an underlay of not less than 15 pound felt (unless heated) extending 18” each way from center line.

**ASPHALT SHINGLES**—Roofs must have a minimum pitch of 2:12 or greater. The entire roof must be covered by a self-adhering, ice barrier material when the pitch is between 2:12 and 4:12.

**ROOF STARTER STRIP**—A manufactured ice dam protection membrane **must** be installed to a point no less than 24” inside the exterior wall line. This product **must** be installed per the manufacturer’s instructions. Start the product at the outer edge of fascia boards. *Exception: Detached accessory structures that contain no conditioned floor area.*

**FIRE PROTECTION**—Attached garages shall be separated from living areas with an approved material such as a minimum 1/2” gypsum board or equivalent, applied to the garage side. This must extend into the soffit if continuous with the house.

**NOTE:** A 5/8” Type X gypsum is required on any ceiling with living space above and the supporting walls must have a minimum 1/2” gypsum board.

A solid wood door 1-3/8” thick, solid or honeycomb core steel door 1-3/8” thick or a 20-minute fire rated door (labeled) shall be provided where the doorway penetrates the firewall. No doorway can open directly into a room used for sleeping purposes.

Detached garages less than 3 ft from a dwelling must have a minimum of 1/2” gypsum board applied to the inside portion of the garage wall that is parallel to the dwelling. No window openings are allowed. Doors are permitted that follow the above noted criteria for attached garages.

**GARAGE DOOR OPENERS**-Automatic garage door openers must have a safety device that causes a closing door to open and prevents an open door from closing when a person or obstruction is encountered in the door’s path. The device must be labeled as being in compliance with *Standard for Safety UL325*.

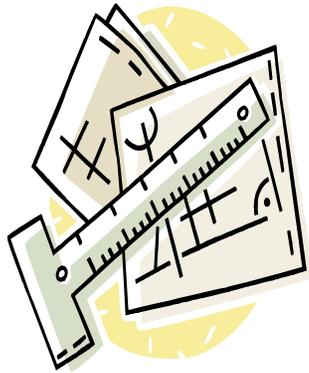


# GARAGES

## DOCUMENTS TO ACCOMPANY A BUILDING APPLICATION

- 2-Copies of the Registered Land Survey as recorded at the County
- 2-Complete sets of to scale building drawings

## DETAILS TO BE INCLUDED ON BUILDING PLANS



### Footing Plan:

- Plans must include footing detail
- Rods may be required, depending on soil conditions
- Soil tests will be required when necessary

### Foundation Plan:

- Size of block
- Number of courses of unbalanced fill
- Pilaster location and rod size if required

### Framing Detail:

- Wall Section
- Roof Section

\*\*\*\* Separate plumbing, heating and electrical permits are required for each type of work being done.

## INSPECTIONS

Call 952-895-4444 to schedule inspection Between 8:00 and 4:30 24 HR notice please

**FOOTING** inspection shall be made when footing is excavated and formed or slab is formed and sand cushion and reinforcement are in place.

**FRAMING** inspection shall be made after the rough-in inspection of plumbing, heating and electrical installations but prior to the placement of any covering material. Truss specifications must be on site for the framing and/or final inspection.

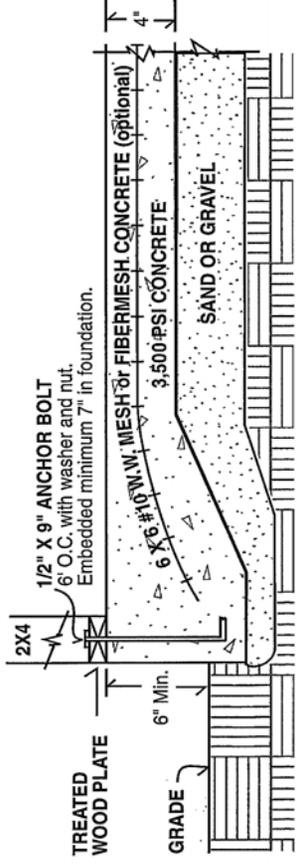
**HOUSE WRAP** inspection prior to siding the structure.

**INSULATION** inspection when all wall insulation is in place and ceiling and wall vapor barriers are in place.

**FINAL** inspection will be made after the structure is complete and prior to occupancy or used for any purpose.

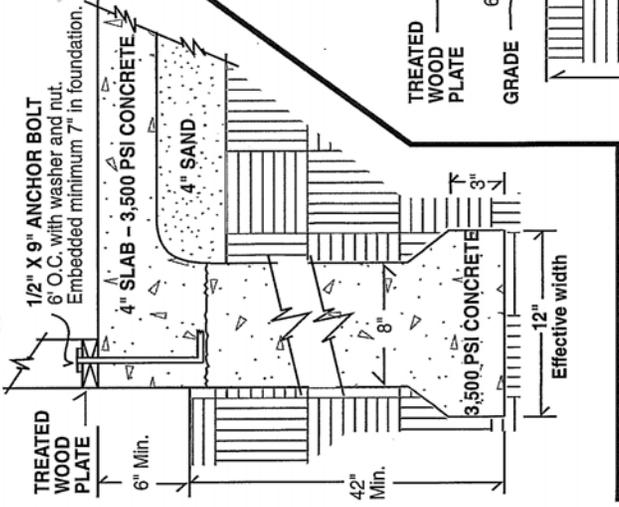


### Slab-on-grade for detached garages



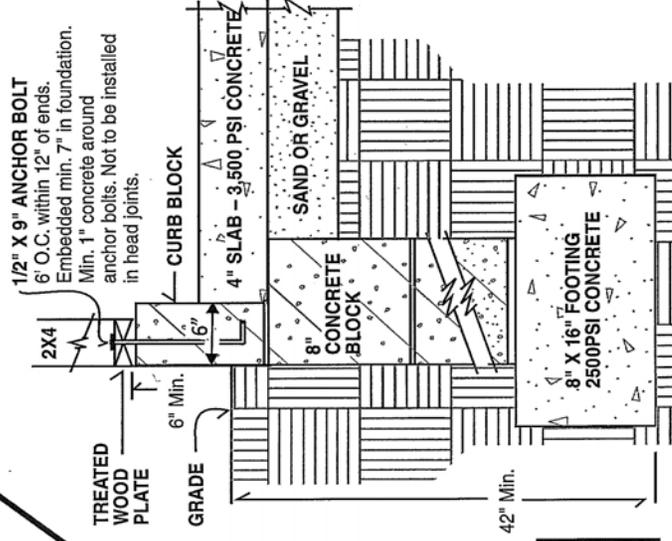
### Poured concrete footing and foundation wall

*Typical for attached garage*



### Concrete block foundation wall on concrete footing

*Typical for attached garage*



Note: Anchor bolts are a maximum of 6" O.C., 12" within any end or splice and minimum two per board.

This is a guide to the most common questions and problems. It is not intended nor shall it be considered a complete set of requirements.