

HOME REMODELING & ADDITIONS

ITEMS TO ACCOMPANY APPLICATIONS

- 2-Copies of the Registered Land Survey as recorded at the County
- 2-Complete sets of building plans
- 1-Copy of the grading plan
- 1-Copy of the Average "U" Computations (Energy Calculations)

ADDITIONAL INFORMATION TO NOTE

- ▶ All curb cuts require permits from the Engineering Department.
- ▶ All curb and street damage must be reported prior to the start of construction or repair will be the responsibility of the person holding the permit.
- ▶ Note on the plans the driveway location and type-bituminous or concrete.
- ▶ In areas where sewer and water is not available, show the location and elevation of well, septic tank, cesspools and drain tile. Septic tank and drain tile **must** be a minimum of 4 feet above water table. Percolation test and location of test must be submitted with the Building Permit Application.



100 Civic Center Parkway
Burnsville, MN 55337-3817

Phone: (952) 895-4444
Fax: (952) 895-4437

- ▶ Sewer and water connection charges **must** be paid at the time the permit is issued. The excavation contractor must be licensed by the City or work under a licensed plumbing contractor. (Permission letter needed for job)
- ▶ In areas where sewer and water is available, dig up sewer and water service and set house elevation accordingly.
- ▶ All trees, which are removed due to construction, must be disposed of off the premises.
- ▶ House and garage floor elevations (minimum 18" above street).

CERTIFICATE OF SURVEY



A **NEW Registered Land Survey** will be required on all new additions (*if the home was built prior to January 1995*) and **must** include the exact distance to all property lines and utility easements.

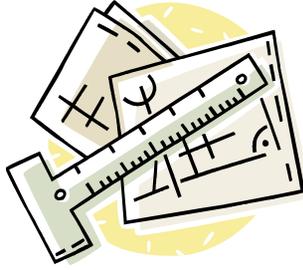
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SETBACKS

- ◆ 30 ft from front & rear property lines
- ◆ 10 feet from side yard (for living space) & 5 ft from side yard (garage space) if 15 ft or more between your structure and the neighbors.
- ◆ 20 ft from side yard if on a corner lot

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DETAILS TO BE INCLUDED ON BUILDING PLANS



Footing Plan:

Plans must include footing detail
Rods may be required, depending on soil conditions
Soil tests will be required when necessary

Foundation Plan:

Size of block
Number of courses of unbalanced fill
Pilaster location and rod size if required

Framing Detail:

Wall Section—steel specifications—deck specifications
Roof Section—specifications on roofing

Floor Plan:

Location of furnace and stack
Room sizes
Window sizes (A smoke detector is required in the basement level of the home and in each sleeping room)
All habitable basements and sleeping rooms require at least one (1) egress window or door for emergency escape or rescue, which

INSPECTIONS

Call 952-895-4444 to schedule inspection Between 8:00 and 4:30 24 HR notice please



FOOTING inspection shall be made after the forms are in place and *PRIOR TO POURING CONCRETE*

SHEATHING / HOUSE WRAP inspection

FRAMING inspection shall be made after the rough-in inspection of plumbing, heating and electrical installations but prior to the placement of any covering material

INSULATION inspection

FINAL inspection will be made after the structure is complete and prior to occupancy